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Building Inspection

320-417 East St., Victoria.



Date of Inspection: July 17, 2012

Client: Jack Duckworth

Inspector: Lee Ottewell (CPBC License #: 47384)

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THE REPORT

INSPECTION CONDITIONS

Client Information:

Inspection Date:

July 17, 2012.

Client's Name:

Jack Duckworth.

Address of Property Inspected:

320-417 East St., Victoria.

MLS Number:

251487.

Access Provided By:

Via the buyer's realtor.

Weather Conditions:

Inspection Day Weather:

Clear.

Temperature At The Time Of The Inspection:

Between 10 & 15 degrees celsius.

Building Characteristics:

Approximate Year In Which The Building Was Built:

1975.

Building Type:

Condo.

Other Information:

Building Occupied During Inspection?

No.

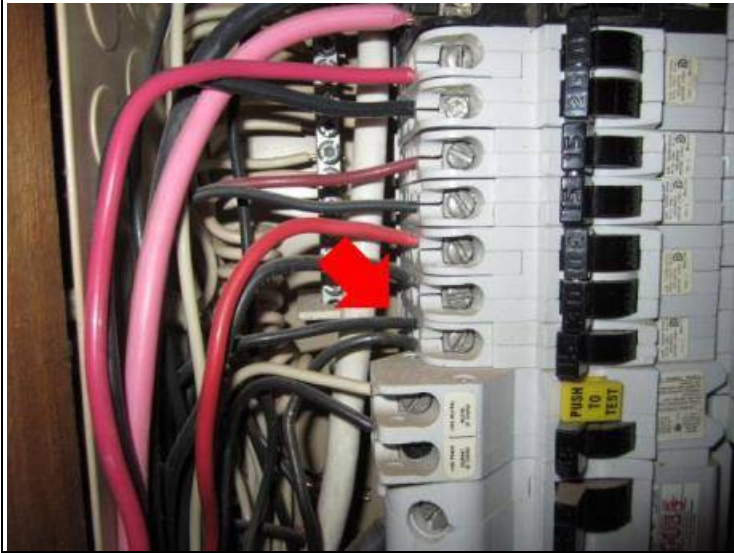
Payment Information:

Fee:

\$350.00 + HST (\$392.00 total) Inspection.

ELECTRICAL

Electrical Panel:

<i>Location:</i>	Hallway.
<i>Is Panel Accessible:</i>	Yes - The electrical panel is in a location that makes it readily accessible.
<i>Service Size:</i>	100 amps.
<i>Service Cable to Panel Type:</i>	Copper.
<i>Type of Panel Disconnects:</i>	Breakers.
<i>Panel Cover Removed:</i>	Yes.
<i>Panel Condition:</i>	Action Necessary - Wood screws have been used to secure the front of the access panel. This is dangerous because the pointed screws can pierce live electrical wires inside the panel. Blunt purpose made electrical screws should be used.
<i>Panel Rating:</i>	Satisfactory - The power panel is correctly rated to the main amperage.
<i>Breaker/Fuse to Wire Compatibility:</i>	Satisfactory - The breakers/fuses in the power panel appear to be appropriately matched to the circuit wire gauge.
<i>Condition of Wiring in Panel:</i>	 <p>Action Necessary - There are two wires to a breaker. These need to be separated so that each wire will have its own breaker.</p>

<i>Legend Available:</i>	Yes - Identification of the breakers and the appliances or areas they control are clearly marked. This inspection does not verify the accuracy of this legend.
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Wiring Type

<i>Circuit Wiring Sampled Locations:</i>	Sections of the electrical wiring were visible: at the electrical panel.
<i>Circuit Wiring Type:</i>	Action Necessary - Aluminum wiring is being used as "branch wiring" in this

property. Aluminum wiring can cause overheating of receptacles due to a phenomenon called 'creep'. Special connections are required eg pig tailing with copper before connecting to the receptacles alternatively special receptacles should be used that are suitable for aluminum wiring. It is therefore advisable to have all connections (including those at the panel) checked and corrected as necessary by a licensed electrician.

Miscellaneous:

Smoke Detectors:

Yes - the condo unit is equipped with smoke or heat detectors.

STRUCTURAL

General:

Type of Construction:

Wood Framed.

Condo Overview:

There were no obvious visible signs of structural problems within this condo unit at the time of this inspection. The walls, floors, ceilings did not show any signs of stress, cracking, displacement, bowing or buckling.

PLUMBING SYSTEM

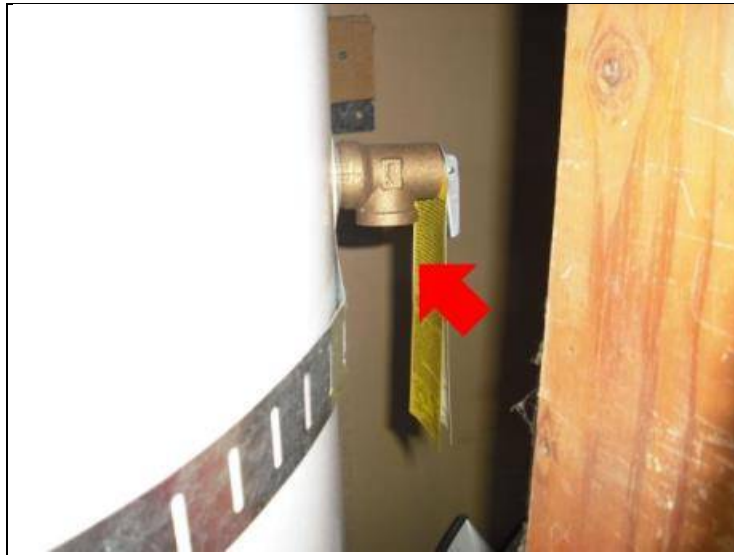
Plumbing:

<i>Main Water Line Material:</i>	The main service line to the structure is copper.
<i>Main Water Line Shutoff Location:</i>	The main water shut off is located in the laundry.
<i>Interior Supply Piping Material:</i>	The visible sections of internal supply piping are made of: copper.
<i>Supply Piping Condition:</i>	Satisfactory - The visible plumbing supply piping appears functional.
<i>Water Pressure:</i>	Satisfactory - The shower pressure was still functional when several other fixtures were using water.
<i>Waste & Vent Pipe Materials</i>	The visible sections of waste pipe materials are a mixture of: plastic, cast iron, galvanized steel.
<i>Waste & Vent Piping Condition:</i>	Satisfactory - The visible plumbing waste and vent piping appears functional.
<i>Objectionable Odours Noted:</i>	No.

Water Heater:

<i>Location:</i>	Laundry.
<i>Age:</i>	This tank is approximately 7 years old. The average lifespan of a water heater is about 10 years.
<i>Tank Capacity:</i>	A 40 gallon water heater is installed.
<i>Fuel Source for Water Heater:</i>	The water heater is electrically heated.
<i>Electric Service to Water Heater:</i>	Satisfactory - The electric service to the water heater appears to be installed in an acceptable manner.
<i>Exposed Water Heater Condition:</i>	Satisfactory - the water heater appears to be in functional condition.
<i>Water Piping Condition:</i>	Satisfactory - The incoming and output piping is installed correctly.
<i>Cold Water Supply Shut Off Valve:</i>	Yes - There is a shut off valve installed on the incoming water line. This valve can be used to cut off the water supply to the water heater.
<i>Temperature & Pressure Relief Valve:</i>	Satisfactory - The temperature and pressure relief valve is present.

Discharge Tube:



Action Necessary -
There is no
discharge tube
installed.

Insulated Hot Water Piping:



Recommended -
insulating the hot
water piping to
reduce water
heating costs and to
get hotter water to
the fixture quicker.
Up to 30% of the
heat losses in a
domestic hot water
system are from the
delivery piping
system.

Drainage Pan:

Yes - there is a drainage pan underneath the hot water tank to collect water in the event of leakage.

Strapping:

Satisfactory - There is metal strapping around the tank to reduce the risk of pipe ruptures in the event of earthquakes.

HEATING, VENTILATION & AIR CONDITIONING

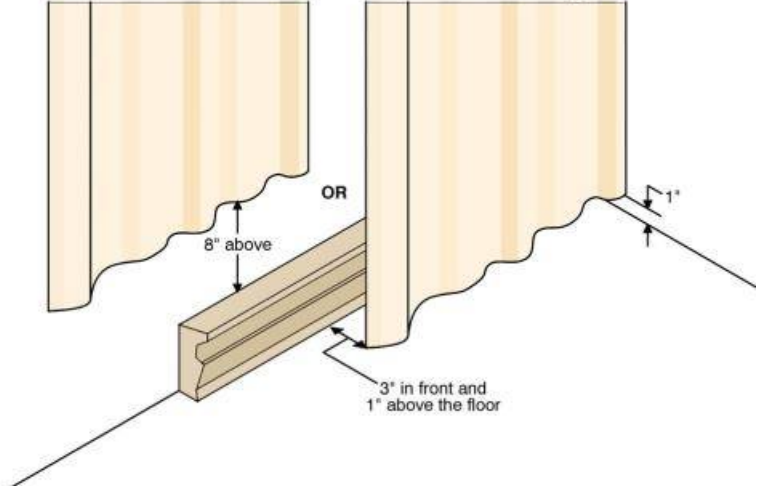
Electric Baseboard Heaters:

Electric Baseboard Heaters:

Satisfactory - The electric baseboard heaters were sampled and of all those tested they worked satisfactory.

Fire Precautions - Curtains

Electric baseboard heaters - clearances to draperies



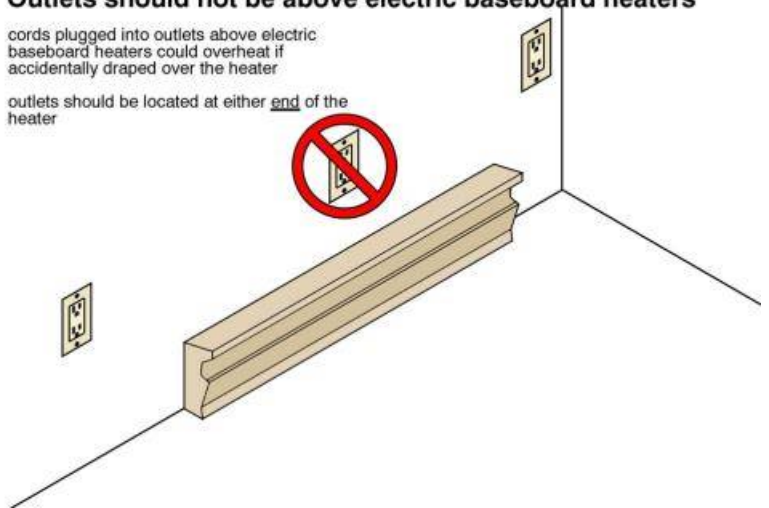
To reduce the risk of fires always ensure that there is a minimum clearance of 8 inches above baseboard heaters and 3 inches in front eg proximity of curtains, beds etc. Also keep electrical cables away from the heaters because they can melt.

Fire Precautions - Electrical Cables

Outlets should not be above electric baseboard heaters

cords plugged into outlets above electric baseboard heaters could overheat if accidentally draped over the heater

outlets should be located at either end of the heater



It is poor practice to have electrical sockets located above electric baseboard heaters.

Fireplace:

Location of Fireplace:

Living Room.

<i>Type of Fireplace:</i>	There is a gas fire installed.
<i>Gas Service.</i>	Action Necessary - Recommend having the gas fire serviced. This should be done annually along with any other gas appliances in the building.
<i>Carbon Monoxide Tested.</i>	No carbon monoxide was detected around the gas fire.

INTERIOR

Main Hallway:

<i>Outside Entry Door:</i>	The outside entry door is functional.
<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Electrical Outlets:</i>	Satisfactory - The accessible outlets tested in this room are correctly wired and grounded.

Living Room:

<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Windows:</i>	Satisfactory - The window(s) in this room appear to be satisfactory.
<i>Light and Light Switch.</i>	The room doesn't have a main central light - side lamps are used.
<i>Electrical Outlets:</i>	Satisfactory - The accessible outlets tested in this room are correctly wired and grounded.

Dining Room/Dining Area:

<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Windows:</i>	Satisfactory - The window(s) in this room appear to be satisfactory.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Electrical Outlets:</i>	Satisfactory - The accessible outlets tested in this room are correctly wired and grounded.

Sunroom:

<i>Entry Door(s):</i>	Satisfactory - The entry door(s) to this room is(are) functional.
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Walls:

Satisfactory - The walls in this room appear to be in a satisfactory condition.

Ceiling:

Satisfactory - The ceiling in this room is in a satisfactory condition.

Floor:

Satisfactory - The floor in this room is in satisfactory condition.

Windows:

Satisfactory - The window(s) in this room appear to be satisfactory.

Kitchen:

Walls:

Satisfactory - The walls in this room appear to be in a satisfactory condition.

Ceiling:

Satisfactory - The ceiling in this room is in a satisfactory condition.

Floor:

Satisfactory - The floor in this room is in satisfactory condition.

Light and Light Switch.

Satisfactory - The light(s) and switch(es) are functional.

Electrical Outlets:

Satisfactory - The accessible outlets tested in this room are correctly wired and grounded.

Countertops:

Satisfactory - The countertops in the kitchen are functional.

Cabinets, Drawers, and Doors:

Satisfactory - The cabinets, doors, and drawers are functional.

Faucet and Supply Lines:

Satisfactory - Faucets and supply lines appear satisfactory.

Sink and Drain Lines:

Satisfactory - The sink and drainage lines appear to be satisfactory.

Garborator:



Action Necessary - The garborator did not activate using normal controls. Further investigation is needed to determine if repairs or replacement should be undertaken.


Range Hood:

Satisfactory - The range hood works correctly.

Laundry:

Bifold Doors:

Satisfactory - The bifold doors are functional.

<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Electrical Outlets:</i>	I was unable to access and test any electrical sockets.
<i>Dryer Ventilation:</i>	 <p>Action Necessary - The dryer has a plastic vent. For safety reasons it is prudent to change this to metal to reduce the risk of fire which could be caused by a build up of lint inside the vent.</p>

Master Bedroom:

<i>Entry Door(s):</i>	Satisfactory - The entry door(s) to this room is(are) functional.
<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Windows:</i>	Action Necessary - The following issues were identified: thermal seal failure in at least one window.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Electrical Outlets:</i>	Satisfactory - The accessible outlets tested in this room are correctly wired and grounded.
<i>Closet(s):</i>	Satisfactory - The closet(s) is(are) in a satisfactory condition.

Ensuite Bathroom:

<i>Location:</i>	Off the Master Bedroom.
<i>Entry Door(s):</i>	Satisfactory - The entry door(s) to this room is(are) functional.

Walls:

Satisfactory - The walls in this room appear to be in a satisfactory condition.

Ceiling:

Satisfactory - The ceiling in this room is in a satisfactory condition.

Floor:

Satisfactory - The floor in this room is in satisfactory condition.

Ventilation Fans:



Action Necessary - There is an exhaust fan installed, but it would not activate using normal controls.

Electrical Outlets:

Satisfactory - The outlet(s) in this room is(are) correctly Ground Fault Circuit Interrupter GFCI Protected.

Light and Light Switch.

Satisfactory - The light(s) and switch(es) are functional.

Vanity Top:

Satisfactory - The vanity top is functional.

Vanity Cabinet:

Satisfactory - The vanity cabinet is functional.

Basin and Drain Lines:

Satisfactory - The basin and drainage lines appear to be satisfactory. Please note that any over flows were not tested.

Faucets & Supply Lines:

Satisfactory - Faucets and supply lines appear satisfactory.

Toilet Condition:

Satisfactory - The toilet appears to be functional.

Shower Pan:

Satisfactory - the shower pan is not damaged and functions as intended.

Shower Faucets:

Satisfactory - The shower faucets operate as intended.

Shower Drain:

Satisfactory - The shower appears to drain at an acceptable rate.

Shower Walls:

Satisfactory - The walls appear to be in satisfactory condition.

Glass Tub/Shower Enclosure:

The shower has a glass door which is in a satisfactory condition.


Bedroom 2:

Entry Door(s):

Satisfactory - The entry door(s) to this room is(are) functional.

<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Windows:</i>	Action Necessary - The following issues were identified: thermal seal failure in at least one window.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Electrical Outlets:</i>	Satisfactory - The accessible outlets tested in this room are correctly wired and grounded.
<i>Closet(s):</i>	Satisfactory - The closet(s) is(are) in a satisfactory condition.

Bathroom:

<i>Location:</i>	Hallway.
<i>Entry Door(s):</i>	Satisfactory - The entry door(s) to this room is(are) functional.
<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Ventilation Fans:</i>	Satisfactory - There is an exhaust fan installed in this bathroom, and it is performing satisfactorily.
<i>Electrical Outlets:</i>	<div data-bbox="532 1184 1263 1734">  </div> <div data-bbox="1268 1184 1529 1365"> <p>Action Necessary - The outlet in the bathroom is not correctly GFCI protected.</p> </div>
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Vanity Top:</i>	Satisfactory - The vanity top is functional.
<i>Vanity Cabinet:</i>	Satisfactory - The vanity cabinet is functional.

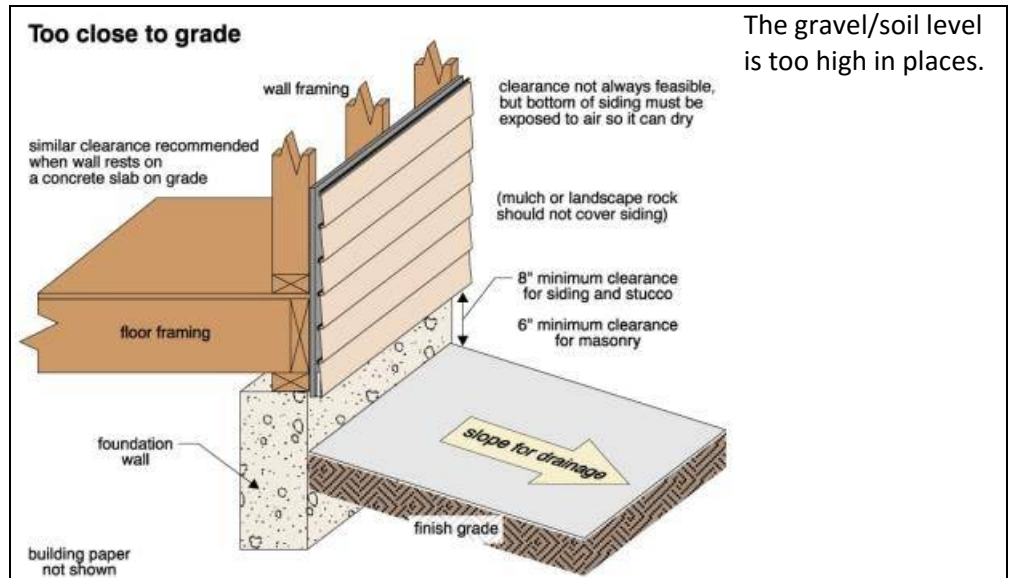
<i>Basin and Drain Lines:</i>	Satisfactory - The basin and drainage lines appear to be satisfactory. Please note that any over flows were not tested.
<i>Faucets & Supply Lines:</i>	Satisfactory - Faucets and supply lines appear satisfactory.
<i>Toilet Condition:</i>	Satisfactory - The toilet appears to be functional.
<i>Tub:</i>	Satisfactory - the bath tub is not damaged and functions as intended.
<i>Tub Faucets:</i>	Satisfactory - The tub faucets operate as intended.
<i>Tub Drain:</i>	Satisfactory - The tub appears to drain at an acceptable rate. Please note that any over flows were not tested.
<i>Tub & Shower Walls:</i>	Satisfactory - The walls appear to be in satisfactory condition.
<i>Glass Tub/Shower Enclosure:</i>	There is a shower curtain rod installed.

COMMON AREA OBSERVATIONS

Please note that the inspection was limited to the condo unit only in accordance with the "CAHPI(BC) Apartment Style Condominium Standards of Practice." The following are merely observations/comments that the inspector made whilst walking around the common areas of the building.

Observations/Comments:

Exterior Comments:





Flashings are missing on the external doors.



Internal GFCI's with no weather proof covers are in use externally.



There is some rot in some window frames.



I noted rot in the ends of some of the barge boards.



A disconnected downspout was noted.

Roof Comments:



Cracking was noted in the surface of the torch on asphalt roof.



Bird droppings are causing damage to the surface of the roof covering.



Birds nests etc should be cleaned off the roof.

*Underground Parking Area
Comments:*



The photo eye beam is too high for the parkade door it should be within 8 inches of the floor.



Efflorescence and water droplets were visible on the ceiling and walls of the parkade.



Trays have been affixed to the ceiling to collect water.

General Comments:



The sump pumps have no battery backups.