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# Building Inspection

1234 Franchise St, Fernwood



**Date of Inspection: December 11, 2012**

**Client: Ivan B. Project**

**Inspector: Lee Ottewell (CPBC License #: 47384)**

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# **THE REPORT**

## INSPECTION CONDITIONS

### Client Information:

<i>Inspection Date:</i>	December 11, 2012.
<i>Client's Name:</i>	Ivan B. Project.
<i>Client's Mailing Address:</i>	2341 Moss St, Victoria.
<i>Client's Email Address:</i>	<a href="mailto:ivanbproject@ivanbproject.com">ivanbproject@ivanbproject.com</a> .
<i>Client's Phone Number:</i>	250 388 2873.
<i>Address of Property Inspected:</i>	1234 Franchise St, Fernwood.
<i>MLS Number:</i>	354291.
<i>Access Provided By:</i>	Via the owner of the property.

### Weather Conditions:

<i>Inspection Day Weather:</i>	Clear.
<i>Temperature At The Time Of The Inspection:</i>	Between 10 & 15 degrees celsius.
<i>Soil Conditions:</i>	Damp.

### Building Characteristics:

<i>Approximate Year In Which The Building Was Built:</i>	1911.
<i>Building Type:</i>	Single Family House.

### Other Information:

<i>Building Occupied During Inspection?</i>	Yes.
<i>Client Present During Inspection?:</i>	No.

### Orientation:

<i>Directional References:</i>	For the purposes of this report all directional references to left, right, front, or rear assume the reader is standing at the street facing the building being inspected.
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## SITE

### Site:

*Surface Drainage:*

The surface drainage around the house appears to be satisfactory.

### Driveway:

*Driveway Material:*

Asphalt.

*Driveway Condition:*

Action Necessary - There is some minor cracking.

### Walkway:

*Walkway Materials:*

Concrete.

*Walkway Condition:*



### Patio

*Patio Floor Materials:*

Concrete.

*Patio Condition:*

Satisfactory - The patio surface material is in satisfactory condition.

### Retaining Walls (In close proximity to the building):

*Location of Retaining Wall(s):*

Rear of the house.

*Materials Used:*

Rock and mortar.

### Condition of The Retaining Wall(s)



Action Necessary - Cracking was noted.

### Utility Services:

#### Electric Service:

Overhead.

#### Electric Service Condition:

Satisfactory - The overhead electrical service lines are secure at masthead. Service wires are unobstructed and in good condition.

#### Electric Service Height:

Satisfactory - The overhead electrical service wires appear to meet the minimum height requirements.

#### Service Meter Entrance:

Satisfactory - The meter housing appears to be correctly installed.

#### Gas Service:

The building is connected to a mains gas supply.

#### Gas Odour Noted:

No.

#### Above Ground Oil Tank

Yes - outside the house.

#### Oil Tank:

Satisfactory - The oil tank appears to be in a satisfactory condition.

#### Age of Oil Tank:

According to the date on the oil tank it was manufactured in 2002.

#### Buried Oil Tanks:

Action Necessary - Due to the age of the building it is recommended that a specialist company survey/sweep the property to determine the presence of any buried oil tanks. The burying of oil tanks ceased between 1957 and 1960.

EXTERIOR OF BUILDING

Exterior:

*Siding Materials:*

Combination of: Wood, Cedar Shingles and Stucco.

*Siding Condition*



Action Necessary -  
Some sections of  
the siding are  
rotten.



Action Necessary -  
The shingles are in  
poor condition, they  
are thin, split,  
rotting and some  
sections are missing.



*Trim:*



Action Necessary -  
Sections of the trim  
are rotten.



Action Necessary -  
Some sections of  
trim are loose.

*Soffit:*

Satisfactory - The soffits are in a satisfactory condition.

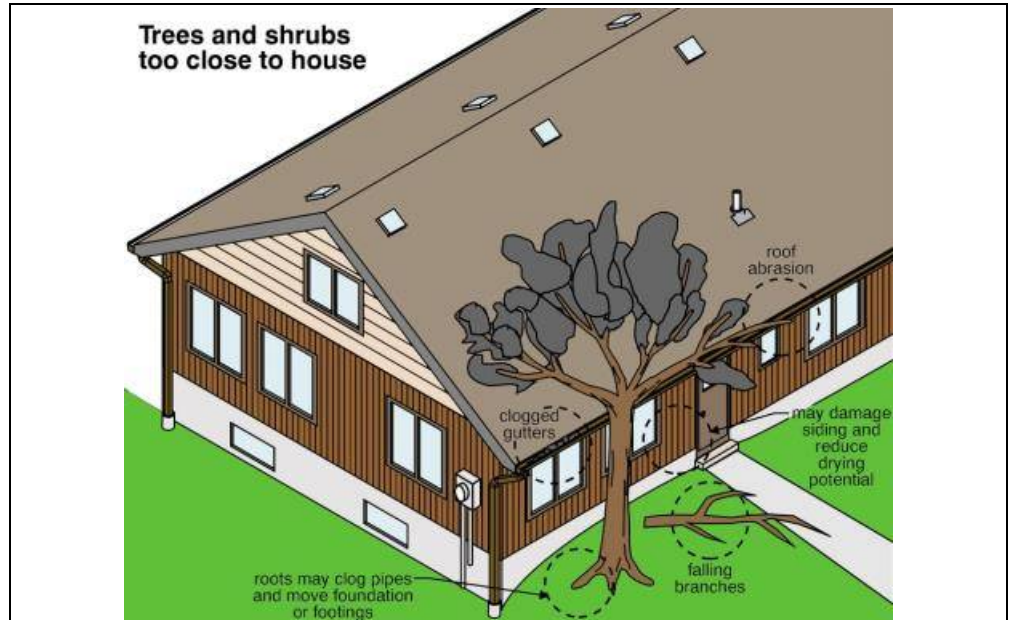
*Fascia & Barge Boards:*



Action Necessary -  
The fascia & barge  
boards are rotting  
and the rot has  
affected the roof  
sheathing and the  
ends of the rafters.  
Repairs or partial  
replacement is  
needed.



### Trees & Shrubs



Action Necessary - Trees/Shrubs are too close to the house. Implications include, encouraging rodents onto the roof, preventing the siding from drying out, risk of blocking the drain tile with roots, risk of affecting the foundation, plugging gutters, roof abrasion etc.

### Outside Entry Doors:

Satisfactory - The outside entry doors are all satisfactory as noted from the exterior.

### Windows:



Action Necessary - There is sections of rot in some window frames.

### Door & Window Flashings:

Action Necessary - The windows do not have flashings.

### Flashings over windows

**note:**  
a drip cap flashing is not required if the roof overhang width is four or more times greater than the distance from the top of the window to the soffit



This diagram illustrates where a flashing should be used above a window (the same applies to doors).

Painted Surfaces:



Action Necessary - The majority of the exterior painted surfaces require repainting.

*Downspouts:*



Attention Needed - Some downspouts are not discharging their run-off water correctly. Run-off water needs to flow away from the side of the building at least 6 feet. This will allow the run-off to get far enough away to not interfere with the foundation. Alternatively downspouts could

be connected into drains.

*Exterior Lighting:*



Action Necessary - At least one external light fixture is internal grade and should be changed.



Action Necessary - An unprofessional electrical installation exists, the wrong type of wiring has been used and an inappropriate connector.

*Ground Fault Circuit  
Interrupters (GFCI):*



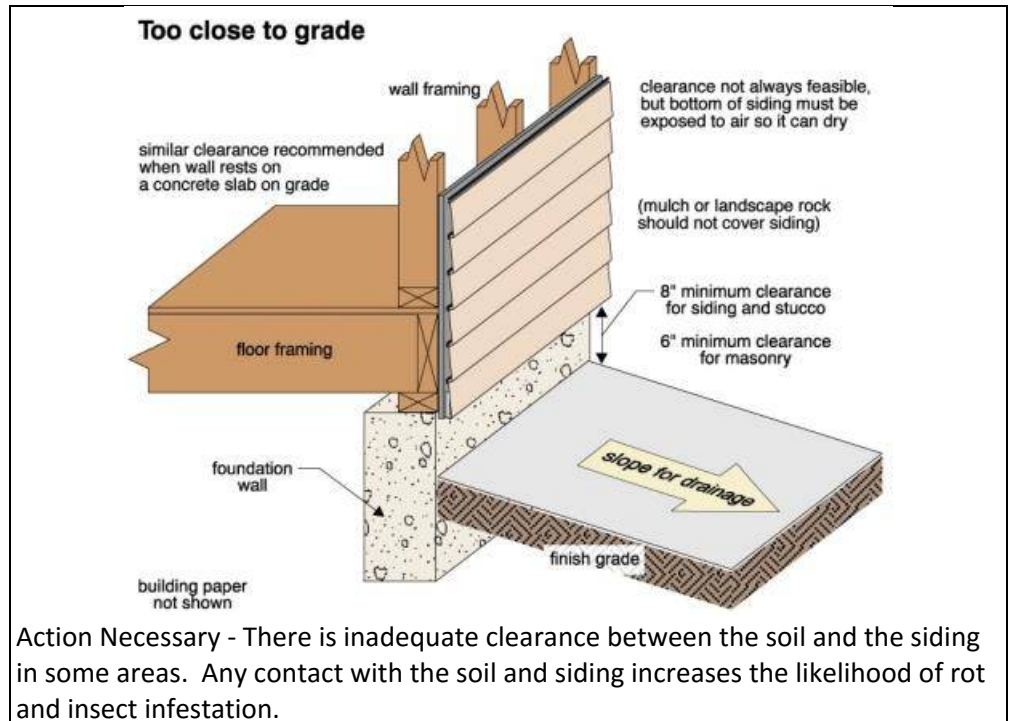
Action Necessary -  
An internal grade  
outlet has  
incorrectly been  
used outside. This  
requires changing as  
soon as possible to  
an external grade  
outlet.



Action Necessary -  
Not all of the  
external sockets are  
GFCI protected.



*Siding Too Close to Grade:*



*Comments:*

Action Necessary - There is inadequate clearance between the driveway and the siding. The driveway is higher than the top of the foundation wall. This increases the likelihood of rot and insect infestation in the framing.

**Foundation:**

*Type of Foundation:*

Basement and crawlspace.

*Foundation Materials:*

Poured in place concrete.

*Visible Portions of Exterior Foundation:*

The exterior view of the foundation is limited to the portions visible above grade. Only about 0% to 5% of the foundation was visible.

*Visible Foundation Cracks Noted From Exterior:*

No significant cracking in the foundation walls was noted during the exterior examination.

*Evidence of Recent Movement:*

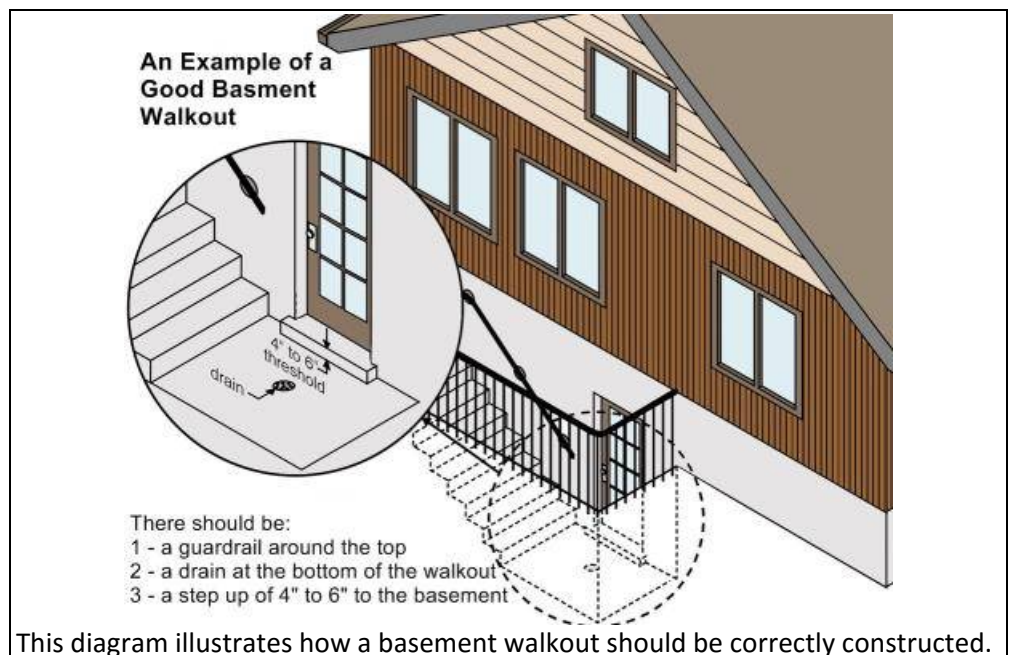
No - There is no evidence of any recent movement.

**Basement Walkout:**

*Drainage in Area of  
Basement Walkout:*



**Action Necessary -**  
There is no drain in the concrete floor of the basement walkout. This is required to eliminate or minimize the risk of water entry into the basement. Also there should be a minimum of a 4" step up into the basement from the outside (to prevent water entry).



**Perimeter Foundation Drains:**

*Sections of Perimeter Drain  
Tile Visible:*

Yes - At least one end of the drain exposed to daylight was noted. This inspection does not warrant the effectiveness of the drainage system. I merely noted that there appears to be one present.

*Type of Drainage Tile:*

Clay.



*Comment*



Action Necessary - the clay drain tile appears to be blocked. Recommend getting a specialist draintile company to clean out and scope the perimeter draintile to establish it's presence and condition.

Deck, Entrance, Porch or Balcony :

*Location:*

Rear of house.

*There is a:*

Deck.

*Foundation/Support:*



Action Necessary - the columns are poorly supported.

*Supporting Columns:*

Satisfactory - The supporting columns appear to be in satisfactory condition.

*Supporting Beams:*



Action Necessary -  
The beams need  
repair or  
replacement. This is  
due to rotten  
sections.

*Supporting Joists:*



Action Necessary -  
The joists need  
repair or  
replacement. This is  
due to rotten  
sections.

*Railings:*

Satisfactory - The railings as installed are functional.

*Stairs Condition:*

Satisfactory - The steps are in useable condition.

*Stair Railings:*

Satisfactory - The railings as installed are functional.

ROOF

Main House Roof:

Means of Roof Inspection:

The roof covering was inspected by walking on the roof.

Type Roof:

Combination of pitched and flat.

Roof Covering Materials:

Wooden shingles, asphalt shingles and torch on asphalt.

Cover Layers:

A close-up photograph of the roof structure showing multiple layers of roofing materials. From top to bottom, there are dark wooden shingles, a layer of asphalt shingles, and a layer of torch-on asphalt. A red arrow points to the interface between the asphalt shingles and the torch-on asphalt.

The roof covering on the main structure has several layers including original wooden shingles.

Condition of Main Roof Covering Material:

A photograph of a pitched roof showing significant damage to the roof covering. Large sections of the asphalt shingles are missing or peeling away, revealing the underlying wooden shingles. A red arrow points to a damaged area.

Action Necessary - The roof covering material needs replacing.



*Flashings:*



Action Necessary - the flashings are in poor condition and should be replaced when the house is re-roofed.

*Roof Framing, Exterior, notes:*

Note that due to the poor condition of the roof covering there is likely to be damage to the roof framing. This will only be obvious when exposed.

*Evidence of Leakage:*

Yes.

*Roof Drainage:*



Action Necessary - The gutter system on the roof edge are inadequately sloped to carry the water to the downspouts.

*Comment:*



Action Necessary - The finials are rotting.



Action Necessary -  
Some sections of  
finials are missing.

**Chimney:**

*Location:*

Rear of the property.

*Exterior Stack Material:*

The exterior fireplace stack is made of masonry.

*Exterior Stack Condition:*



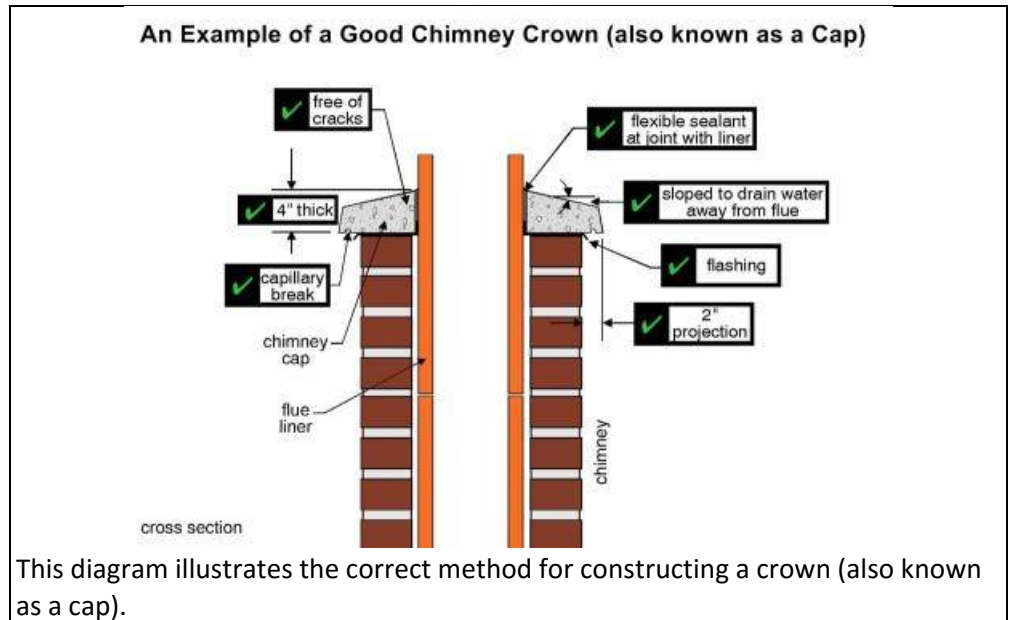
Action Necessary -  
The mortar joints  
need repointing.

*Chimney Crown (or Cap):*



Action Necessary -  
There is no concrete  
crown at the top of  
the chimney stack.





*Rain Cap:*

Satisfactory - the rain cap(s) appear to be satisfactory.

*Chimney Height and Clearance:*


Satisfactory - The chimney installation appears to meet clearance requirements.

*Flashing:*



## ELECTRICAL

### Electrical Panel:

<i>Location:</i>	Hallway.
<i>Is Panel Accessible:</i>	Yes - The electrical panel is in a location that makes it readily accessible.
<i>Panel Type:</i>	Main Electrical Panel.
<i>Service Size:</i>	100 amps.
<i>Type of Panel Disconnects:</i>	Breakers.
<i>Panel Cover Removed:</i>	Yes - the panel cover was removed to the individual breakers only, not the main breaker.
<i>Panel Condition:</i>	Satisfactory - The power panel, as a container for safely covering electrical circuitry and components, is functioning as intended, minimizing the risk of electrical shock.
<i>Panel Rating:</i>	Satisfactory - The power panel is correctly rated to the main amperage.
<i>Breaker/Fuse to Wire Compatibility:</i>	Satisfactory - The breakers/fuses in the power panel appear to be appropriately matched to the circuit wire gauge.
<i>Circuit Wiring Type:</i>	<div style="display: flex; align-items: flex-start;">  <div style="margin-left: 10px;"> <p>Sheathed Copper and Knob &amp; Tube wiring.</p> <p>Action Necessary - you need to be aware that some insurance companies will not insure a house with knob and tube wiring. Due to the potential for overload or deteriorated condition, some insurance companies will require an upgrade of the electrical system.</p> </div> </div>

*Condition of Wiring in Panel:*



Action Necessary - There are two wires to a breaker. These need to be separated so that each wire will have its own breaker.

*Main Service Ground Verified:*

Yes - The main service ground wire was located by the inspector.

*Legend Available:*

Yes - Identification of the breakers and the appliances or areas they control are clearly marked. This inspection does not verify the accuracy of this legend.

**Miscellaneous:**

*Smoke Detectors:*

Yes - The building is equipped with smoke or heat detectors. The detectors were not tested, they were merely noted as being present. It is important for **you** to test them on a regular basis, monthly at least.


*Unfinished/Unprofessional Electrical Installations:*



Action Necessary - I noted electrical cover plates missing, disconnected wires, untidy electrical installations etc that require the attention of a license electrician. The main areas were as follows: Basement.

ATTIC & VENTILATION

Attic & Ventilation:

Method of Inspection:	The attic space was entered.
Roof Framing Type:	Rafters are used at the front of the house and trusses on the rear addition.
Roof Framing Condition:	Satisfactory - The roof framing appears to be in functional condition.
Roof Ventilation:	Recommend improving the amount of ventilation when re-roofed.
Baffles:	There are baffles between the insulation and the roof sheathing at the eaves to allow the air to circulate from the soffit vents.
Insulation Noted:	<div><div></div><div><p>Whilst inspecting the attic the insulation was sampled in several locations and it was found to be: Vermiculite</p><p>Action Necessary - most types of Vermiculite insulation contain asbestos. It is recommended that this type of insulation is not disturbed. If it becomes a requirement to disturb it then chemical analysis will be required to determine if it contains asbestos. In which case, if it does, specialist asbestos removal contractors will be required.</p></div></div>
Insulation Conditions:	Action Necessary - It would be desirable to increase the amount of insulation in the attic.
Heat Recovery Ventilator:	None installed.



*Staining On The Underside Of The Roof Sheathing:*



**Action Necessary -**  
There either is or has been a moisture problem in the attic that requires attention. This is evidenced by staining on the underside of the roof sheathing and on the trusses/rafters and rusty nails where they penetrate the sheathing. **It is strongly**

**recommended that the services of an environmental consultant are used to identify the staining (could be mould etc) and what course of action should be undertaken. You should also establish where the moisture is coming from.**

*Bathroom/Kitchen/Dryer Vents:*



**Action Necessary -**  
There is at least one bathroom ventilation fan that is allowing moist air to enter the attic. It is essential to direct all vent ductwork to the outside so that additional moisture is not introduced into the attic space and insulation.

*Evidence of Animals in Attic:*

**Yes - There was evidence rodent activity in the attic space. It was not possible to conclude if was a previous or present infestation. Nor was it possible to establish the extent of the infestation.**

STRUCTURAL

General:

Type of Construction:

Wood Frame.

Basement:

Areas of the Basement Visible for Inspection:

Approximately 40% of the interior.

Columns:

There are solid wooden columns installed as supports under the main beam.

Columns Condition:

Satisfactory - The visible column(s) appear in satisfactory condition and adequately installed.

Main Beam(s):

The main beams are single large pieces of wood.

Main Beam Conditions:

Satisfactory - The main beam installed appears to be in satisfactory condition.

Floor Joists Above:

The joists are made from wood.

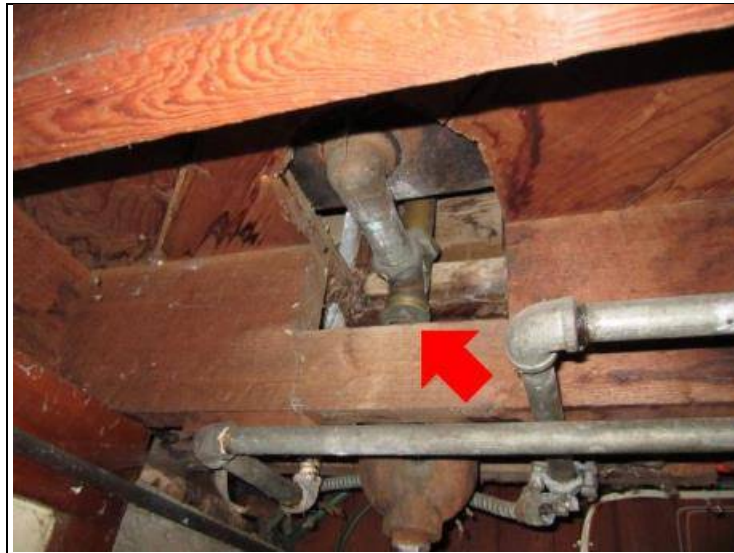
Floor Joist Condition:



Action Necessary - Fungal growth was visible on several joists. The joists are located towards the rear portion of the basement (where the external soil level is particularly high).



*Floor Joists Condition:*



Action Necessary -  
At least one joist has  
been weakened by a  
large notch/hole.

*Internal Wall Framing:*

The Internal wall framing is wooden.

*Internal Wall Framing  
Condition:*

Satisfactory - The visible wall framing members were in a satisfactory condition.

*Perimeter Wall Framing:*

The external wall framing is wooden.

*Perimeter Wall Framing  
Condition:*

There were no visible wall framing available for inspecting.

*Insulation Noted:*

Yes the following type is used: Fibreglass.

*Insulation Conditions:*

Action Necessary - There is no insulation around the perimeter between the rim joists. Heat will be lost through these areas. Recommend insulating.

*Moisture on Exposed  
Basement Walls Noted:*

Yes - Evidence of higher than normal moisture levels were noted on the exposed areas of the interior basement walls, and attention is needed to determine the cause and best cure.

*Condition Noted in  
Foundation Walls, Interior  
View:*

Satisfactory - The exposed visible portions of the interior foundation perimeter walls appear to be satisfactory.

*Evidence of Recent  
Movement In Foundation  
Wall:*

No - There is no evidence of any recent movement in the visible sections of foundation wall.

*Floor Condition:*

Satisfactory - the concrete floor was in satisfactory condition.

*Staircase Condition:*

Satisfactory - The staircase to the basement level appears functional.

*Evidence of Water Entry in the Basement:*



Action Necessary - There is evidence of water entry in the basement level.

*Evidence of Mould Noted:*

Yes. There is a mould or fungus noted on the walls. This inspection does not include testing for mould type or toxicity. Further testing is recommended and needed to determine the type and the toxicity levels.

*Evidence of Animals in Basement:*

Yes - Animal droppings were noted in the basement. It was not possible to conclude if these droppings relate to a previous or present infestation. Nor was it possible to establish the extent of the infestation.

**Crawlspace:**

*Crawlspace Inspected By:*

The crawlspace was inspected by entering.

*Columns:*

There are wooden columns installed as supports under the main beam.

*Columns Condition:*



Action Necessary - Several columns are unprofessionally constructed.

*Main Beam(s):*

The main beam(s) is(are) single large pieces of wood.

*Main Beam Conditions:*

Satisfactory - The visible sections of main beam(s) as installed appear to be in satisfactory condition.

*Floor Joists Above:*

The joists are made from wood.

*Floor Joists Condition:*



Action Necessary - Large notches/holes have been made in some of the joists which has weakened them.

*Perimeter Wall Framing:*

The perimeter wall framing is wooden.

*Perimeter Wall Framing Condition:*



Action Necessary - Due to the high soil levels sections of the perimeter wall framing were rotting. Most of the framing was not visible due to being partly concealed by drywall. However, fungal growth could be seen growing out from the wall down the surface of the inside of the concrete foundation

wall.

*Condition Noted in Foundation Walls, Interior View:*

Satisfactory - The exposed visible portions of the interior foundation perimeter walls appear to be satisfactory.

*Evidence of Water Entry in the Crawlspace:*



Action Necessary -  
At the time of the inspection there was water present.

*Type of Crawlspace Floor:*

Concrete.

*Condition of Crawlspace Floor:*

Satisfactory - The visible sections of floor were in satisfactory condition.

*Evidence of Animals in Crawlspace:*

Action Necessary - Animal droppings were noted in the crawlspace. It was not possible to conclude if these droppings relate to a previous or present infestation. Nor was it possible to establish the extent of the infestation.



## PLUMBING SYSTEM

### Plumbing:

*Main Water Line Material:*

The main service line to the structure is plastic.

*Main Water Line Shutoff Location:*

Basement.

*Visible Mineral Deposits or Encrustations:*

No.

*Interior Supply Piping Material:*



The visible sections of internal supply piping are made of: copper, plastic, galvanized steel.

Action Necessary - Galvanized steel piping is prone to rusting on the inside, particularly around the joints, which subsequently leak. Many insurance companies require

this type of piping to be replaced.

*Supply Piping Condition:*

Satisfactory - The visible plumbing supply piping appears functional.

*Supply Piping Insulation in Unheated Spaces:*

Action Necessary - Uninsulated pipes run the risk of freezing and splitting, and they are inefficient with regard to losing heat. Uninsulated pipes were noted in the following areas:  
Basement.

*Water Pressure:*

Satisfactory - The shower pressure was still functional when several other fixtures were using water.

*Waste & Vent Pipe Materials*

Mixture of: Plastic & Cast Iron.

*Waste & Vent Piping Condition:*



Action Necessary - There is evidence of a leak in the drain/waste piping system. Location - basement.

*Objectionable Odours Noted:* No.

**Water Heater :**

*Location:*

Basement.

*Age:*

This tank is between 8 & 9 years old. The average lifespan of a water heater is about 10 years you should therefore start planning to replace it.

*Tank Capacity:*

A 40 gallon water heater is installed.

*Fuel Source for Water Heater:*

The water heater is electrically heated.

*Electric Service to Water Heater:*

Satisfactory - The electric service to the water heater appears to be installed in an acceptable manner.

*Exposed Water Heater Condition:*



Action Necessary - The tank is leaking. Replacement is recommended.

*Water Piping Condition:*

Satisfactory - The incoming and output piping is installed correctly.



*Cold Water Supply Shut Off Valve:*

Yes - There is a shut off valve installed on the incoming water line. This valve can be used to cut off the water supply to the water heater.

*Temperature & Pressure Relief Valve:*

Satisfactory - The temperature and pressure relief valve is of the correct rating for the water heater.

*Discharge Tube:*

Satisfactory - The discharge tube is correctly installed.

*Water Heater Insulation Jacket:*

Integral.

*Insulated Hot Water Piping:*

Recommended - Hot water piping that runs through unheated areas should be insulated to reduce water heating costs and to get hotter water to the fixture quicker. Up to 30% of the heat losses in a domestic hot water system are from the delivery piping system.

*Strapping:*

It is desirable to have a metal strapping around to tank to reduce the risk of pipe ruptures in the event of earthquakes.

## HEATING, VENTILATION & AIR CONDITIONING

### Furnace:

*Fuel Source:*

The fuel source is oil.

*Flue Condition:*

Satisfactory - The visible portions of the flue/vent system appear to be installed correctly and appear to be functional.

*Carbon Monoxide Tested:*

Yes. No measurable amounts of carbon monoxide were noted at the time of the test.

*Heating System Tested:*

Yes - and it worked satisfactory.

*Heat Exchanger Inspected:*

No - the heat exchanger was not visible.

*Barometric Damper*

Appears satisfactory and operational.

*Secondary Air Adequacy:*

Satisfactory - Availability of secondary air for combustion and flue draft appears to be adequate; however, no calculation was performed by the inspector.

*Blower Condition:*

Satisfactory - The blower assembly appears to be performing as expected.

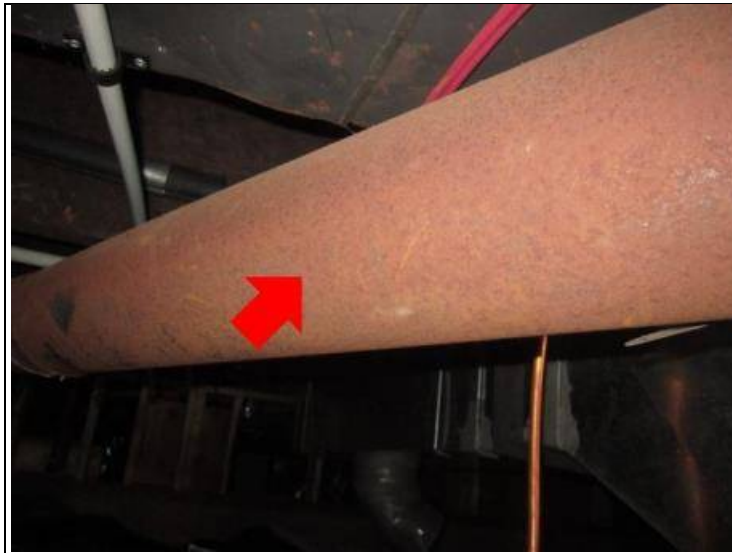
*Filter Condition:*

Satisfactory - The filter is clean and correctly installed. It is recommended that the filter(s) be changed or cleaned every 30 to 45 days for best performance..

*Ductwork Condition:*



Action Necessary -  
There are  
disconnected  
sections of  
ductwork.



Action Necessary -  
Rust was noted on  
sections of  
ductwork.

*Asbestos Warning:*



Attention Needed -  
Asbestos containing  
material was visible  
on the ductwork. It  
was commonly used  
on ductwork,  
around heat  
registers and as  
separators between  
ductwork and  
wooden framing. It  
is acceptable to  
leave asbestos in  
place provided it is  
not disturbed.

However, if it  
becomes loose or damaged, or if the ductwork is likely to be knocked and  
disturbed, it would be prudent to either encapsulate the asbestos or have it  
removed.

## INTERIOR

### Main Hallway:

<i>Outside Entry Door:</i>	The outside entry door is functional.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Electrical Outlets:</i>	Action Necessary - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.


### Living Room:

<i>Entry Door(s):</i>	Satisfactory - The entry door(s) to this room is(are) functional.
<i>Light and Light Switch.</i>	The room doesn't have a main central light - side lamps are used.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Windows:</i>	Action Necessary - The following issues were identified: broken glass and missing sash cords.
<i>Electrical Outlets:</i>	Action Necessary - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.

### Dining Room/Dining Area:

<i>Entry Door(s):</i>	Satisfactory - The entry door(s) to this room is(are) functional.
<i>Light and Light Switch.</i>	Satisfactory - The light(s) and switch(es) are functional.
<i>Ceiling:</i>	Satisfactory - The ceiling in this room is in a satisfactory condition.
<i>Walls:</i>	Satisfactory - The walls in this room appear to be in a satisfactory condition.
<i>Floor:</i>	Satisfactory - The floor in this room is in satisfactory condition.
<i>Windows:</i>	Action Necessary - The following issues were identified: missing sash cords, window(s) painted shut or otherwise sealed.
<i>Electrical Outlets:</i>	Action Necessary - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.

Family Room:

Entry Door(s):	Action Necessary - The entry door is missing.
Light and Light Switch.	Satisfactory - The light(s) and switch(es) are functional.
Ceiling:	Satisfactory - The ceiling in this room is in a satisfactory condition.
Walls:	Satisfactory - The walls in this room appear to be in a satisfactory condition.
Floor:	Satisfactory - The floor in this room is in satisfactory condition.
Windows:	<div><div></div><div>Action Necessary - The following issues were identified: buckled spacers between the window glazing.</div></div>
Electrical Outlets:	Satisfactory - The sampled accessible outlets tested in this room are correctly wired and grounded.

Kitchen:

Entry Door(s):	Satisfactory - The entry door(s) to this room is(are) functional.
----------------	---



*Light and Light Switch.*



Action Necessary - unprotected surface mounted electrical cables were visible.

*Ceiling:*

Satisfactory - The ceiling in this room is in a satisfactory condition.

*Walls:*

Satisfactory - The walls in this room appear to be in a satisfactory condition.

*Floor:*

Satisfactory - The floor in this room is in satisfactory condition.

*Windows:*

Action Necessary - The following issues were identified: missing sash cords.

*Electrical Outlets:*

Satisfactory - The sampled accessible outlets tested in this room are correctly wired and grounded.

*Countertops:*

Satisfactory - The countertops in the kitchen are functional.

*Cabinets, Drawers, and Doors:*

Satisfactory - The cabinets, doors, and drawers are functional.

*Faucet and Supply Lines:*

Satisfactory - Faucets and supply lines appear satisfactory.

*Sink and Drain Lines:*

Satisfactory - The sink and drainage lines appear to be satisfactory.

*Range Hood:*



Action Necessary - The range hood isn't working.

## Laundry:

### Entry Door(s):

Satisfactory - The entry door(s) to this room is(are) functional.

### Linen Closet:

Satisfactory - The closet is functional and of average size.

### Walls:

Satisfactory - The walls in this room appear to be satisfactory.

### Ceiling:

Satisfactory - The ceiling is functional and as expected.

### Floor:

Satisfactory - The floor in this room is in satisfactory condition.

### Windows:

Action Necessary - The thermal seal in at least one window is noted as deficient. Although the window is still keeping the rain out, the staining between the panes of glass will continue to cloud the glass. At some time, if left in place, the window will turn opaque. Replacement is recommended since it is no longer serving its intended function.

### Electrical Outlets:

Action Necessary - At least one outlet in the room is cracked.

### Light and Light Switch.

Satisfactory - The light(s) and switch(es) were functional at the time of the inspection.

### Dryer Ventilation:



The dryer has a plastic vent. For safety reasons it is prudent to change this to metal to reduce the risk of fire which could be caused by a build up of lint inside the vent.

## Master Bedroom:

### Entry Door:

Satisfactory - The entry door on the master bedroom is as I expected, and it is functional.

### Walls:

Satisfactory - The walls in this room appear to be satisfactory.

### Ceiling:

Satisfactory - The ceiling is functional and as expected.

### Floor:

Satisfactory - The floor in this room is in satisfactory condition.

### Windows:

Satisfactory - The window(s) and associated hardware in this room are all

satisfactory.
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*Electrical Outlets:*

<b>Action Necessary</b> - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.
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*Light and Light Switch.*

The room doesn't have a main central light - side lamps are used.
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**Bedroom 2 :***Entry Door:*

Action Necessary - The entry door or hardware for this bedroom needs some adjustment or repair for it to function appropriately.
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*Walls:*

Satisfactory - The walls in this room appear to be satisfactory.
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*Ceiling:*

Satisfactory - The ceiling is functional and as expected.
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*Floor:*

Satisfactory - The floor in this room is in satisfactory condition.
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*Windows:*

Action Necessary - There is at least one broken window pane.
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*Electrical Outlets:*

Action Necessary - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.
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*Light and Light Switch.*

The room doesn't have a main central light - side lamps are used.
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*Closet:*

Action Necessary - there is a door missing.
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**Bedroom 3 :***Entry Door:*

Satisfactory - The entry door to this bedroom is as I expected, and it is functional.
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*Walls:*

Satisfactory - The walls in this room appear to be satisfactory.
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*Ceiling:*

Satisfactory - The ceiling is functional and as expected.
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*Floor:*

Satisfactory - The floor in this room is in satisfactory condition.
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*Windows:*

Action Necessary - One or more of the sash cords is broken or missing. This condition could allow the window to slam closed causing glass breakage or injury to unsuspecting individuals.
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*Electrical Outlets:*

Action Necessary - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.
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*Light and Light Switch.*

The room doesn't have a main central light - side lamps are used.
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*Heat Source Noted:*

No.
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*Closet:*

Action Necessary - door missing.
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**Bedroom 4 :***Entry Door:*

Satisfactory - The entry door to this bedroom is as I expected, and it is functional.
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*Walls:*

Satisfactory - The walls in this room appear to be satisfactory.

*Ceiling:*

Satisfactory - The ceiling is functional and as expected.

*Floor:*

Satisfactory - The floor in this room is in satisfactory condition.

*Windows:*

Action Necessary - One or more of the sash cords is broken or missing. This condition could allow the window to slam closed causing glass breakage or injury to unsuspecting individuals.

*Electrical Outlets:*

Action Necessary - At least one 3-pronged outlet in the room is not grounded. This is an unsafe condition.

*Light and Light Switch.*

The room doesn't have a main central light - side lamps are used.

*Closet:*

Satisfactory - The closet is in a satisfactory condition.

**Bathroom:***Location:*

Upper Hallway.

*Entry Door:*

Satisfactory - The entry door to the bathroom is as I expected, and it is functional.

*Walls:*

Satisfactory - The walls in this room appear to be satisfactory.

*Ceiling:*

Satisfactory - The ceiling is functional and as expected.

*Floor:*

Satisfactory - The floor in this room is in satisfactory condition.

*Ventilation Fans:*

Satisfactory - There is an exhaust fan installed in this bathroom, and it is performing satisfactorily.

*Windows:*

Satisfactory - The window(s) and associated hardware in this room are all satisfactory.

*Electrical Outlets:*

Action Necessary - The outlet in the bathroom is not correctly GFCI protected. Recommend getting either a GFCI outlet (or GFCI breaker at the panel) installed by a qualified electrician.



*Light and Light Switch.*

Satisfactory - The light(s) and switch(es) were functional at the time of the inspection.

*Vanity Cabinet:*

Satisfactory - The vanity cabinet and top in this bathroom are satisfactory.

*Basin and Drain Fixture:*

Satisfactory - The basin and drainage fixture appears to be satisfactory.

*Faucet and Supply Lines:*

Satisfactory - Faucets and supply lines appear satisfactory.

*Toilet Condition:*

Satisfactory - The toilet appears to be functional.

*Tub:*

Satisfactory - the bath tub is not damaged and functions as intended.

*Tub Faucets:*

Satisfactory - The tub faucets operate as intended.

*Tub Drain:*

Satisfactory - The tub appears to drain at an acceptable rate.

*Glass Tub/Shower Door:*

There is a shower curtain installed.

**Bathroom 2:***Location:*

Main Hallway.

*Entry Door:*

Satisfactory - The entry door to the bathroom is as I expected, and it is functional.

*Walls:*

Satisfactory - The walls in this room appear to be satisfactory.

*Ceiling:*

Satisfactory - The ceiling is functional and as expected.

*Floor:*

Satisfactory - The floor in this room is in satisfactory condition.

*Ventilation Fans:*

Action Necessary - There is an exhaust fan installed, but it would not activate using normal controls. Repair or replacement is necessary.

*Windows:*

Satisfactory - The window(s) and associated hardware in this room are all satisfactory.

*Electrical Outlets:*

Satisfactory - The outlet in the bathroom is correctly GFCI protected.

*Light and Light Switch.*

Satisfactory - The light(s) and switch(es) were functional at the time of the inspection.

*Vanity Cabinet:*

Satisfactory - The vanity cabinet and top in this bathroom are satisfactory.

*Basin and Drain Fixture:*

Satisfactory - The basin and drainage fixture appears to be satisfactory.

*Faucet and Supply Lines:*

Satisfactory - Faucets and supply lines appear satisfactory.

*Toilet Condition:*

Satisfactory - The toilet appears to be functional.

*Shower Faucets:*

Satisfactory - The shower faucets operate as intended.

*Shower Walls:*

Satisfactory - The walls appear to be in satisfactory condition.

*Shower Drain:*

Satisfactory - The shower appears to drain at an acceptable rate.

*Glass Tub/Shower Door:*

The shower has a glass door which is in a satisfactory condition.